



DESIGN REVIEW COMMITTEE

AGENDA ITEM

AGENDA DATE: APRIL 4, 2018
TO: Chair McCormack and Members of the Design Review Committee
THRU: Anna Pehoushek, Assistant Community Development Director *APR*
FROM: Kelly Christensen Ribuffo, Associate Planner *KCR*
SUBJECT: DRC No. 4815-15 – Woody Residence

SUMMARY

The applicant proposes to convert an existing attached garage into a new accessory dwelling unit and construct a new attached garage onto the rear of an existing single family residence. The property is a non-contributing resource within the National Register-listed Old Towne Historic District.

RECOMMENDED ACTION – FINAL DETERMINATION

Staff recommends that the Design Review Committee approve the proposed project subject to conditions of approval contained in the staff report and any conditions that the DRC determines appropriate to support the required findings.

BACKGROUND INFORMATION

Owner : Larry N. Woody
Designer: Bryan Scott
Property Location: 492 S. Orange Street
Alternate Address: 127 E. La Veta Avenue
General Plan Designation: Low Density Residential 2-6 du/acre
Zoning Classification: Single Family Residential R-1-6
Existing Development: 925 SF one-story single family residence with a 476 SF attached garage
Property Size: 5,040 SF
Associated Applications: None
Previous DRC Review: N/A
Previous Entitlements: None

PUBLIC NOTICE

No Public Notice was required for this project.

ENVIRONMENTAL REVIEW

Categorical Exemption: The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per State CEQA Section 15303 (New Construction or Conversion of Small Structures.) The applicant proposes to construct a new second dwelling unit, which is explicitly listed as an exempt project under this exemption category.

PROJECT DESCRIPTION

The applicant proposes to convert an existing attached garage into a new 467 SF accessory dwelling unit (ADU) and construct a new 473 SF two car attached garage on the rear of an existing single family residence. Design features of the project include:

- Gable roofline with composition shingle roofing
- New full wood windows and doors
- Stucco siding to match existing finish
- New wood trim around window openings
- New aluminum garage door

Proposed plans, including construction details, are included as Attachment 2 of this report. The accessory unit would have its primary access off the south side of the building, facing the side yard along E. La Veta Avenue.

The proposed work meets the development standards for the R-1-6 zoning district and OMC Section 17.14.050.A related to accessory dwelling units.

EXISTING SITE

The property is a non-contributing resource to the National Register-listed Old Towne Historic District. Current photographs of the property are included as Attachment 3 of this report.

According to a property appraisal report prepared for the City of Orange Public Works Department, this one-story cottage was constructed c. 1956 as half of an attached duplex (see Attachment 4). The duplex consisted of two units with two single car garages dividing them.

In 1997 the City of Orange purchased the property as part of a larger plan to widen E. La Veta Avenue. The same year the City dedicated 1,345 SF of the south side of the property as public right-of-way, demolished the west unit (addressed 127 E. La Veta Avenue), converted the two single car garages into one large two car garage with access from the alley to the west, and

constructed the large river rock wall along E. La Veta Avenue. The property was sold as surplus property to a private owner in 1999.

In March 2018 the property owner replaced the roof with new composition shingles.

EXISTING AREA CONTEXT

The subject property is located at the northwest corner of S. Orange Street and E. La Veta Avenue. The site is bordered to the north and east by properties in the R-1-6 zoning district, to the south by properties zoned R-2-6, and to the west by property zoned OTMU-15S. These properties are primarily single family residences and small commercial businesses. The surrounding area is within the southeast residential quadrant of the Old Towne Historic District.

EVALUATION CRITERIA

Orange Municipal Code (OMC) Section 17.10.070 establishes the general criteria the DRC should use when reviewing the project. This section states the following:

The project shall have an internally consistent, integrated design theme, which is reflected in the following elements:

1. **Architectural Features.**
 - a. The architectural features shall reflect a similar design style or period.
 - b. Creative building elements and identifying features should be used to create a high quality project with visual interest and an architectural style.
 2. **Landscape.**
 - a. The type, size and location of landscape materials shall support the project's overall design concept.
 - b. Landscaping shall not obstruct visibility of required addressing, nor shall it obstruct the vision of motorists or pedestrians in proximity to the site.
 - c. Landscape areas shall be provided in and around parking lots to break up the appearance of large expanses of hardscape.
 3. **Signage.** All signage shall be compatible with the building(s) design, scale, colors, materials and lighting.
 4. **Secondary Functional and Accessory Features.** Trash receptacles, storage and loading areas, transformers and mechanical equipment shall be screened in a manner, which is architecturally compatible with the principal building(s).
-

ANALYSIS/STATEMENT OF THE ISSUES

Staff has identified two issue items with the proposed scope of work for this project. With the conditions of approval proposed, staff recommends the Design Review Committee accept the project as proposed. The project application was submitted in 2015 and was reviewed primarily under the Old Towne Design Standards (adopted in 1995, updated in 1999). However, staff believes the project, with recommended conditions, is also in conformance with the *Historic Preservation Design Standards for Old Towne* adopted in 2017.

Issue 1: Compatibility of New Accessory Unit and Garage

The *Historic Preservation Design Standards for Old Towne* (hereafter Design Standards) sets forth criteria for modification to non-contributing buildings in the historic district boundaries. In general, additions should be of an appropriate mass and scale compared to the existing building, windows and doors should be compatible with the predominate style of the building, and traditional building materials should be used for new construction and modifications, though alternatives may be considered.

The proposed garage addition is of an appropriate, mass and scale so as to be compatible with the property on which it is being built. However, the roofline and walls of the proposed addition are in-line with the existing garage/ADU. This creates a long, uninterrupted roof and wall plane that gives the impression of an addition that is larger than the original house. Additions of a larger scale than the existing building are discouraged in the Design Standards.

Staff recommends that either the roofline of the garage addition be stepped higher or lower, or that the walls be offset 1-2 feet, so as to differentiate the new garage from the existing garage that is being converted to an ADU. The stepped roof or offset wall design would retain the distinction between the various modifications to the building over time. Condition #3 has been added to the ‘Recommended Conditions’ section of this report.

Exterior finishes on the garage addition are proposed to match those on the existing building. The applicant has proposed to use full wood windows and doors for the new openings required for the ADU, and to also replace the front door with a wood door.

The application has proposed new window trims around existing/proposed windows and a door style that has a Craftsman-like style. The architectural style of the building as it is today is not distinctive. Given that the house has open eaves with exposed rafter tails, it is the opinion of staff that these design details are not incompatible with the building and will not create a false impression that the house was ever a Craftsman bungalow or cottage.

Issue 2: Alternative Garage Door Material

An aluminum garage door is proposed for the rear of the building. A specification sheet for the proposed garage door is included as Attachment 6. It is the opinion of staff that an aluminum

garage door is most practical and appropriate in this instance, given that the garage faces an alley, behind an existing wall and gate, and will not be directly visible from the street. Furthermore, a wood garage door would be significantly more expensive, and the expense does not seem appropriate for a non-contributing property with a non-original garage door opening.

ADVISORY BOARD RECOMMENDATION

This project was not required to be reviewed by any advisory boards.

STAFF RECOMMENDATION AND REQUIRED FINDINGS

The courts define a “Finding” as a conclusion which describes the method of analysis decision makers utilize to make the final decision. A decision making body “makes a Finding,” or draws a conclusion, through identifying evidence in the record (i.e., testimony, reports, environmental documents, etc.) and should not contain unsupported statements. The statements which support the Findings bridge the gap between the raw data and the ultimate decision, thereby showing the rational decision making process that took place. The “Findings” are, in essence, the ultimate conclusions which must be reached in order to approve (or recommend approval of) a project. The same holds true if denying a project; the decision making body must detail why it cannot make the Findings.

The Findings are applied as appropriate to each project. Below are the four findings that, as applicable, are used to determine whether a project meets the intent of the code related to design review and historic preservation guidelines:

1. *In the Old Towne Historic District, the proposed work conforms to the prescriptive standards and design criteria referenced and/or recommended by the DRC or other reviewing body for the project (OMC 17.10.070.G.1).*

Including the recommended conditions of approval, the proposed project is in conformance with the *Historic Preservation Design Standards for Old Towne*. As discussed in the Analysis section of this staff report, the proposed design of the accessory dwelling unit and new attached garage is of an appropriate, mass, scale, and design so as to be compatible with the property on which it is being built. An alternative material is proposed for the new garage door, but as the property is non-contributing and the door will not be visible from the street the use of an aluminum door will have no negative impact in the streetscape along S. Orange Street or E. La Veta Avenue.

2. *In any National Register Historic District, the proposed work complies with the Secretary of the Interior’s standards and guidelines (OMC 17.10.070.G.2).*

The subject property is not a historic resource, and therefore is not required to comply with the *Secretary of the Interior’s Standards for Rehabilitation*. However, the proposed new construction is of an appropriate, mass, scale, and design so as to be compatible with the

property on which it is being built. It is also consistent with the mass and scale of other such residences within the Old Towne Historic District.

3. *The project design upholds community aesthetics through the use of an internally consistent, integrated design theme and is consistent with all adopted specific plans, applicable design standards, and their required findings (OMC 17.10.070.G.3).*

Including the conditions of approval, the proposed work conforms to the prescriptive standards set forth in the *Historic Preservation Design Standards for Old Towne* and Orange Municipal Code. The proposed attached accessory dwelling unit and new garage is of a compatible scale, style and material with the existing residence, and will match aesthetically with the design of the property.

4. *For infill residential development, as specified in the City of Orange Infill Residential Design Guidelines, the new structure(s) or addition are compatible with the scale, massing, orientation, and articulation of the surrounding development and will preserve or enhance existing neighborhood character (OMC 17.10.070.G.4).*

The Infill Design Guidelines are not applicable to properties within the Old Towne Historic District.

RECOMMENDED CONDITIONS

The approval of this project is subject to the following conditions:

1. This project is approved as a precise plan. All work shall conform in substance and be maintained in general conformance with plans and exhibits labeled as Attachment 2 (date stamped March 27, 2018), including modifications required by the conditions of approval, and as recommended for approval by the Design Review Committee. Any changes from the approved plans shall be subject to subsequent review and approval by the Design Review Committee.
 2. The applicant shall install full wood windows and doors, and a high-quality new aluminum garage door with no wood-grain texture, consistent with the plans presented to the Design Review Committee. The design of the new doors and windows shall be compatible with the building's predominant architectural style.
 3. The roof and/or walls of the new garage addition shall be offset 1-2 ft so as to differentiate the addition from the existing building.
 4. The applicant agrees to indemnify, hold harmless, and defend the City, its officers, agents and employees from any and all liability or claims that may be brought against the City arising out of its approval of this permit, save and except that caused by the City's active negligence.
-

5. Construction permits shall be obtained for all future construction work, as required by the City of Orange, Community Development Department's Building Division. Failure to obtain the required building permits will be cause for revocation of this permit.
6. If not utilized, project approval expires twenty-four months from the approval date. Extensions of time may be granted in accordance with OMC Section 17.08.060. The Planning entitlements expire unless Building Permits are pulled within 2 years of the original approval.

ATTACHMENTS

1. Vicinity Map
2. Proposed Architectural Plans (date stamped 3/27/2018)
3. Property Photographs
4. Excerpt from 1996 City Appraisal
5. DPR Form for 492 S. Orange Street
6. Sample Garage Door Specifications

cc: Larry Woody
17853 Santiago Blvd #107-102
Villa Park, CA 92861

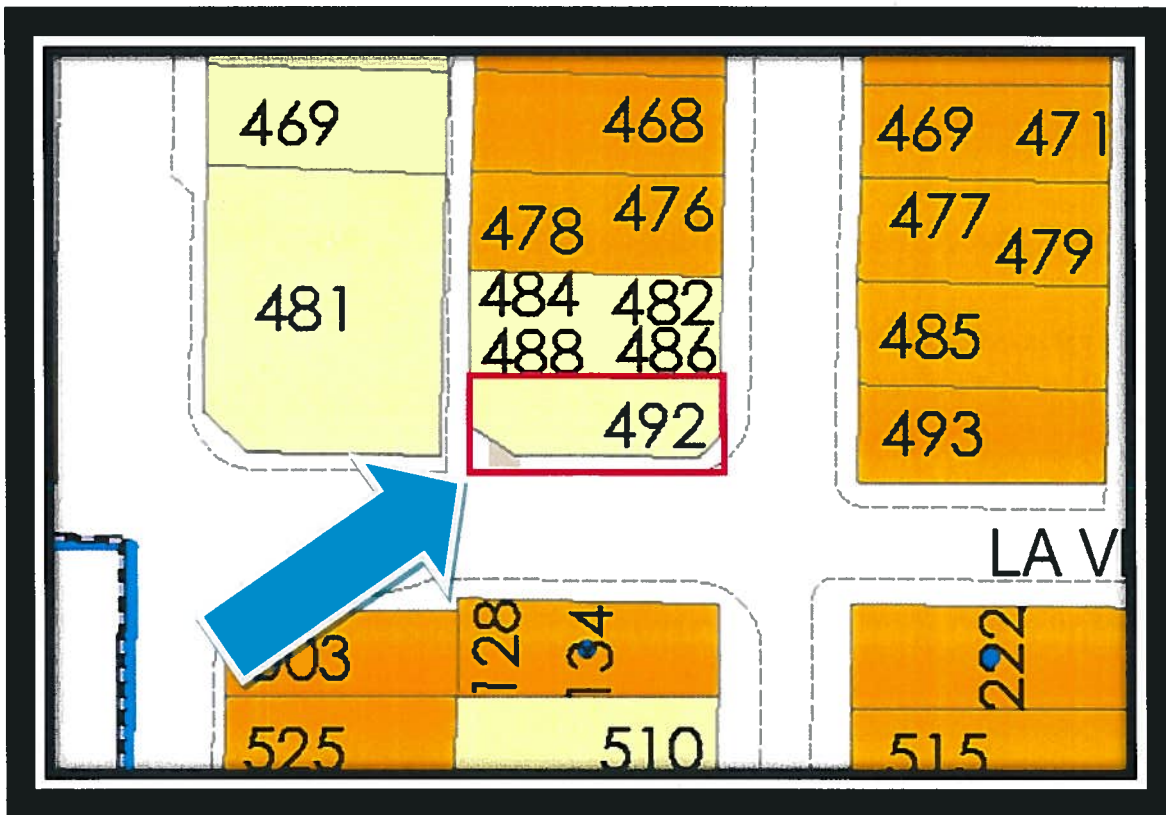
Bryan Scott
926 N. Harwood Street
Orange, CA 92866
plansbybryan@aol.com

Vicinity Map

DRC No. 4815-15

Woody Residence

492 S. Orange Street



ORANGE = CONTRIBUTING HISTORIC RESOURCE
YELLOW = NON-CONTRIBUTING RESOURCE

CITY OF ORANGE
COMMUNITY DEVELOPMENT DEPARTMENT

ATTACHMENT NO. 1
DRC NO. 4815-15 – WOODY RESIDENCE
VICINITY MAP
APRIL 4, 2018 DRC MTG.

GENERAL NOTES

- OWNER AND CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.
- APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITHIN 180 DAYS FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE. (R102.3.2 CRC)
- EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN 180 DAYS OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDON FOR A PERIOD OF 180 DAYS. A SUCCESSFUL INSPECTION MUST BE OBTAINED WITHIN 180 DAYS.
- ALL CONSTRUCTION SHALL COMPLY WITH THE 2016 EDITIONS OF THE CALIFORNIA BUILDING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA FIRE CODE AND 2016 CALIFORNIA ENERGY CODE AND CALGREEN.
- BUILDING SHALL HAVE ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE OF 1/8". (R319.1 CRC)
- EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE NOTED OR SHOWN ON THE PLANS, WORKMANSHIP & MATERIALS SHALL CONFORM TO THE 2016 CBC.
- THE PLANS SHALL BE REVIEWED FOR DIMENSIONAL & EXISTING SITE CONFORMANCE WITH THE PLANS BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE DESIGNER & ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES.
- WORKING DIMENSIONS SHALL NOT BE SCALED FROM DRAWINGS.
- ITEMS IDENTIFIED BY TRADE NAMES MAY BE SUBSTITUTED BY APPROVED EQUALS.
- NOTES & DETAILS ON DRAWINGS SHALL PRECEDE THESE GENERAL NOTES.
- PROVIDE ANY SHORING & OR BRACING PRIOR TO REMOVING EXISTING WALLS, BEAMS, OR SUPPORTS FOR CONSTRUCTION. REMOVE SHORING ONLY WHEN NEW SUPPORTS ARE IN PLACE AND SECURED.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES WHETHER OR NOT SHOWN ON DRAWINGS AND PROTECT THEM FROM DAMAGE.
- DO NOT CUT POST TENSION SLABS. CONTRACTOR TO DETERMINE EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS FOR FOOTINGS, BEAMS AND JOISTS, SIZES LOCATIONS ETC. AND SHALL NOTIFY THE ARCHITECT & ENGINEER OF ANY DISCREPANCIES.

SHEET INDEX

A1	SITE PLAN - GENERAL NOTES
A2	NOTES
A3	DEMOLITION/ FOUNDATION PLAN
A4	FLOOR PLAN
A5	EXTERIOR ELEVATIONS
A6	ROOF PLAN-SECTIONS
A7	ELECTRICAL PLAN
A8	INTERIOR ELEVATIONS
AD1	DETAILS
T24-1	TITLE 24
T24-2	TITLE 24
CG	CAL GREEN

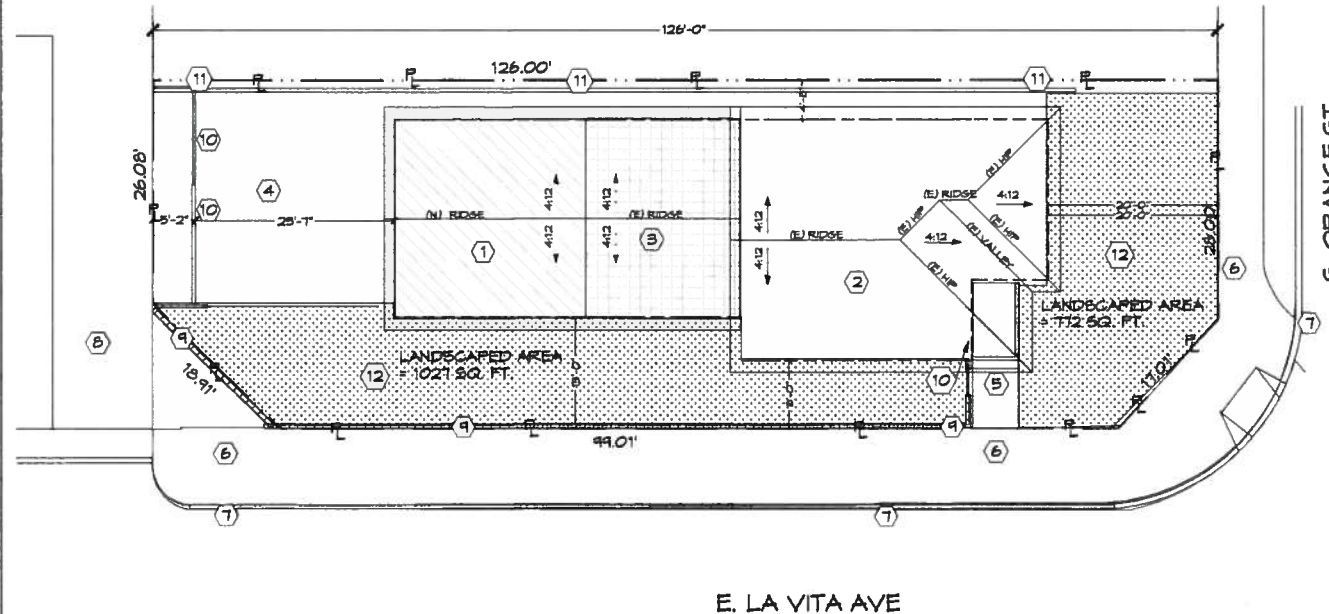
PROJECT SUMMARY

PROJECT ADDRESS:	442 S ORANGE ST. ORANGE, CA 92666
GOVERNING CODE:	2016 CBC, CRC, CPC, CEC, CMC AND 2016 TITLE 24 ENERGY REGULATIONS AND AMENDMENTS BY CITY OR COUNTY ORDINANCE
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY GROUP:	
SCOPE OF WORK:	CONVERT EXISTING GARAGE INTO A JUNIOR ACCESSORY DWELLING UNIT AND ADD A NEW 2 CAR GARAGE.
FIRE SPRINKLERS:	NO
NUMBER OF STORES:	
BUILDING OWNER:	MR. LARRY WOODY
ADDRESS:	442 S ORANGE ST. ORANGE, CA 92666
PARCEL:	391-411-24
DESCRIPTION:	
ZONING:	R-6-1

SQUARE FOOTAGE:

FIRST FLOOR:	
EXISTING:	925 SQ. FT.
NEW GARAGE CONVERSION:	476 SQ. FT.
TOTAL:	1,401 SQ. FT.
GARAGE:	
CONVERTED SPACE:	476 SQ. FT.
NEW GARAGE:	516 SQ. FT.
TOTAL:	516 SQ. FT.
% OF LOT COVERAGE= 36.6%	

VICINITY MAP



PLANNING DIVISION
RECEIVED
MAR 27 2018
CITY OF ORANGE

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) NOTES

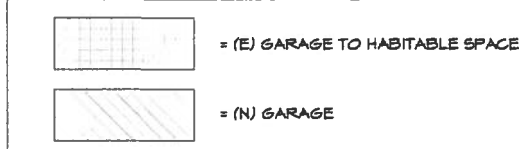
- IN THE CASE OF EMERGENCY, CALL LARRY WOODY AT WORK PHONE: 714-249-9575 OR HOME PHONE: _____
- SEDIMENT FORM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE.
- STACKFILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLES TRACKING, OR WIND.
- APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, PASTES, SPILLS, SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHINGS SHALL BE CONTAINED AT CONSTRUCTION SITES UNLESS TREATED TO REDUCE OR REMOVE SEDIMENT AND OTHER POLLUTANTS.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLING BINS.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY PASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD, CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE, OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.
- POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO SOLID OR LIQUID CHEMICAL SPILLS, PASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LINES, PESTICIDES, HERBICIDES, FOOD PRESERVATIVES AND SOLVENTS, SABBOTS, FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS, FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS, FERTILIZERS, VEHICLE/EQUIPMENT WASH WATER AND CONCRETE WASH WATER/CONCRETE, DETERGENT, OR FLOATABLE PASTES; PASTES FROM ANY ENGINE/ EQUIPMENT STEAM CLEANING OR CHEMICAL DETERGERS AND SUPERCHLORINATED POTABLE WATER LINE FLUSHING.
- DURING CONSTRUCTION, PERMITTEES SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPERATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOLS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.
- GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.
- THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
- THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.
- THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSORS, AND PROPERTY OWNERS THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS PROHIBITED.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE, AND STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING OR WIND.
- APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, PASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF.

FINISH GRADE AROUND STRUCTURE/
ADDITION SHALL SLOPE AWAY FROM THE
FOUNDATION A MINIMUM OF 5% FOR A
MINIMUM DISTANCE OF 10 FEET (R102.3 CBC)

SITE PLAN
SCALE: 1" = 10' 0"
NORTH

SITE PLAN LEGEND

- ① = PROPOSED NEW GARAGE
- ② = (E) RESIDENCE
- ③ = (E) GARAGE CONVERTED TO JADU
- ④ = (E) CONCRETE DRIVEWAY
- ⑤ = (E) CONCRETE WALKWAY
- ⑥ = (E) SIDEWALK
- ⑦ = (E) CURB AND GUTTER
- ⑧ = (E) ALLEY
- ⑨ = (E) 6 FT. MASONRY WALL
- ⑩ = (E) 5 FT. FENCE/ GATE
- ⑪ = (E) 50" HIGH MASONRY BLOCK FENCE
- ⑫ = LANDSCAPE AREA



BUILDING ADDRESS TO BE
LOCATED ON THE BUILDING
AND LEGIBLE FROM THE STREET.

LOT COVERAGE CALCULATION

LOT SIZE	4,900 SQ. FT.
HOUSE	1,401 SQ. FT.
GARAGE	516 SQ. FT.
TOTAL	1,917 SQ. FT.
% OF LOT COVERAGE= 39.1%	



DESIGNER: **Brian Scott**
BUILDING DESIGNER
Ph: 888-271-PLA N (7526) - 562-865-7935 - Fax: 562-318-3666
962 N Harwood St., Orange, CA 92667
Email: bscott@brian-scott.com Website: www.plainsbybrian.com

ENGINEER:

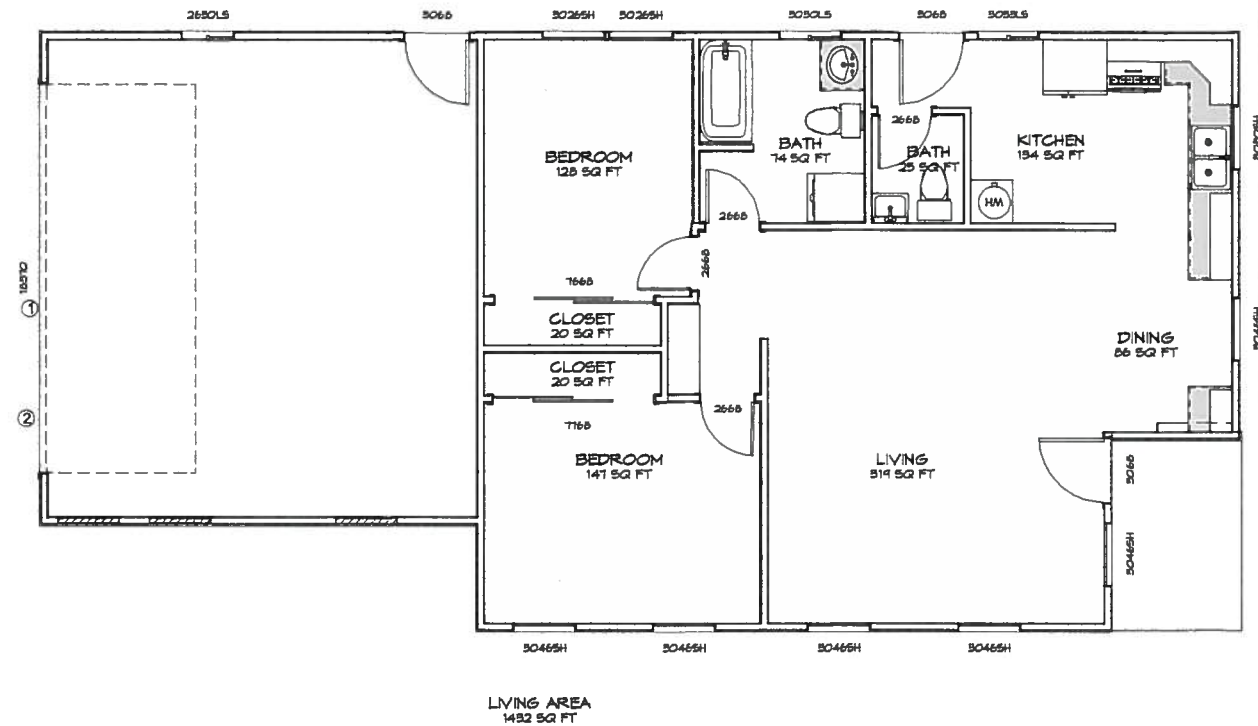
PLAN: SITE PLAN

ATTACHMENT NO. 2
DRC NO. 4815-15 - WOODY RESIDENCE
PROPOSED ARCHITECTURAL
PLANS (DATED: 3/27/2018)
APRIL 4, 2018 DRC MTG.

JOB ADDRESS: MR. LARRY WOODY
442 S ORANGE ST.
ORANGE, CA 92666

DATE:
REVISIONS:

SHEET:
A1



DEMOLITION PLAN
SCALE: 1/4" = 1' 0"



ABBREVIATIONS:

R.R.	ROOF RAFTER
F.J.	FLOOR JOIST
D.J.	DECK JOIST
C.J.	CEILING JOIST
BM	BEAM
K.P.	KING POST
BPH	BALLOON FRAMED WALL
HR	HEADER
PC	PIPE COLUMN
FL	FLUSH BEAM
DF	DROPPED BEAM
DSL	DOUBLE
BLK'S	BLOCKING
F.H.	FULL HEIGHT
D.S.	DRAG STRUT
MSS.	MULTI-STUDS BEARING
S.P.N.	BILL PLATE NAILING
D.T.	DOUBLE 2 X TRIMMER
T.B.	TOP AND BOTTOM
E.S.	EACH SIDE
U.O.N.	UNLESS OTHERWISE NOTED
P.A.	POST ABOVE
M.B.	MACHINE BOLTS
(N)	NEE
(E)	EXISTING
(F.F.)	FINISH FLOOR
(F.G.)	FINISH GRADE
(A.F.F.)	ABOVE FINISH FLOOR
(T)	TEMPERED GLASS
(FIB GLS INSUL.)	FIBER GLASS INSULATION

DEMOLITION LEGEND

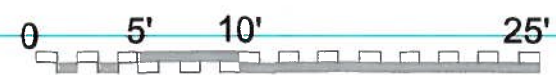
①	REMOVE DOOR
②	FRAME AND CLOSE OPENING

DEMOLITION NOTE

INTENT OF THE DRAWINGS IS TO SHOW EXISTING SITE AND BUILDING CONDITIONS WITH INFORMATION DEVELOPED FROM THE ORIGINAL CONSTRUCTION DOCUMENTS, FIELD AND OWNERS RECORDS, AND TO GENERALLY SHOW THE AMOUNT AND TYPE OF DEMOLITION AND REMOVALS REQUIRED TO PREPARE EXISTING AREAS FOR WORK. CONTRACTOR SHALL MAKE A DETAILED SURVEY OF EXISTING CONDITIONS PERTAINING TO THE WORK BEFORE COMMENCING DEMOLITION. REPORT DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL CONDITIONS TO THE DESIGNER FOR INSTRUCTIONS.

WALL LEGEND

	FOUNDATION WALL
	EXISTING WALL TO REMAIN
	DEMOLISH WALL



DESIGNER: **Brian Scott**
BUILDING DESIGNER
Ph: 888-271-PLAN (7526) - 562-865-7935 - Fax: 562-318-3666
962 N Harwood St., Orange, CA 92867
Email: plansbybrian@aol.com Website: www.plansbybrian.com

ENGINEER:

PLAN: DEMOLITION PLAN

JOB ADDRESS: MR LARRY WOODY
442 S ORANGE ST.
ORANGE, CA 92866

DATE:
REVISIONS:

SHEET:
A3

DESIGNER: **Brian Scott**
 BUILDING DESIGNER
 962 N. Harwood St., Orange, CA 92667
 Ph: 986-271 P.L.A.N (7526) - 962-865 7935 - Fax: 962-318 3666
 Email: plansbybrian@aol.com Website: www.plansbybrian.com

ENGINEER:
 PLAN:
 FLOOR PLAN

JOB ADDRESS:
 MR LARRY WOODY
 492 S ORANGE ST.
 ORANGE, CA 92666

DATE:
 REVISIONS:

SHEET:
A4

CABINET SCHEDULE						
NUMBER	QTY	WIDTH	DEPTH	HEIGHT	DESCRIPTION	COMMENTS
C01	2	24"	12"	36"	WALL CABINET	
C02	1	33"	24"	36"	BASE CABINET	
C03	1	21"	12"	36"	WALL CABINET	
C04	1	31"	24"	36"	BASE CABINET	
C05	2	30"	24"	36"	BASE CABINET	
C07	1	21"	12"	48"	UTILITY CABINET	
C08	1	18"	24"	36"	BASE CABINET	
C09	2	18"	12"	36"	WALL CABINET	
C12	1	36 7/16"	12"	24"	WALL CABINET	
C13	1	31"	12"	36"	WALL CABINET	
C15	1	35 7/8"	24"	36"	BASE CABINET	
C17	1	24"	24"	36"	CORNER WALL CABINET	

WINDOW SCHEDULE						
NUMBER	QTY	WIDTH	HEIGHT	DESCRIPTION	HEADER (SHGC U-FAC)	COMMENTS
W01	1	36"	36"	LEFT SLIDING	4X6X40" 0.25 0.32	WOOD WINDOWS
W02	4	36"	34"	SINGLE HUNG	4X6X40" 0.25 0.32	WOOD WINDOWS
W03	1	24"	36"	DOUBLE HUNG	4X6X38" 0.25 0.32	WOOD WINDOWS

DOOR SCHEDULE						
NUMBER	QTY	WIDTH	HEIGHT	DESCRIPTION	SHGC U-FAC	COMMENTS
D01	1	224"	81"	GARAGE-GARAGE DOOR POS		
D02	1	36"	80"	EXT. HINGED-SLAB		
D03	1	36"	80"	EXT. HINGED-DOOR E21		
D04	2	30"	80"	HINGED-DOOR P04		
D05	1	32"	80"	EXT. HINGED-SLAB		
D06	1	60"	80"	SLIDER-DOOR P04		
D07	1	36"	80"	EXT. HINGED-DOOR E21		

GENERAL NOTES

- THE PLANS SHALL BE REVIEWED FOR DIMENSIONAL & EXISTING SITE CONFORMANCE WITH THE PLANS BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE ARCHITECT & ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES.
- WORKING DIMENSIONS SHALL NOT BE SCALED FROM DRAWINGS.
- ITEMS IDENTIFIED BY TRADE NAMES MAY BE SUBSTITUTED BY APPROVED EQUALS.
- NOTES & DETAILS ON DRAWINGS SHALL PRECEDE THESE GENERAL NOTES.

REMODELING NOTES

- PROVIDE ANY SHORING & OR BRACING PRIOR TO REMOVING EXISTING WALLS, BEAMS, OR SUPPORTS FOR CONSTRUCTION. REMOVE SHORING ONLY WHEN NEW SUPPORTS ARE IN PLACE AND SECURED.
- PROVIDE RED HEADS INTO EXISTING CONCRETE AT ALL SHEAR WALLS PER MFG. SPECIFICATIONS. SEE SHEAR WALL SCHEDULE FOR SIZE AND SPACING.
- PROVIDE SIMPSON ST-6224 BETWEEN NEW WALLS AND EXISTING WALLS AT THE DOUBLE TOP PLATE.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES WHETHER OR NOT SHOWN ON DRAWINGS AND PROTECT THEM FROM DAMAGE.
- DO NOT CUT POST TENSION SLABS. CONTRACTOR TO DETERMINE EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS FOR FOOTINGS, BEAMS AND JOISTS, SIZES LOCATIONS ETC. AND SHALL NOTIFY THE ARCHITECT & ENGINEER OF ANY DISCREPANCIES.
- DOVEL NEW INTO EXISTING SLABS W/ #4 REBAR @ 24" O.C. AND FOOTINGS W/ DOVELS TO MATCH NEW REINF. SIZE/LOCATION.
- VENT RANGE HOOD, FANS, AND DRYER TO OUTSIDE AIR.

WINDOW NOTE

ALL NEW WINDOWS SHALL BE DUAL GLAZE AND HIGH EFFICIENCY. SHALL PROVIDE MIN. 24" CLEAR HEIGHT AND MIN. 30" CLEAR WIDTH (3.7 SQ. FT. OR 5.0 SQ. FT. ON GRADE FLOOR OPENINGS) AND MAX. 44" SILL HEIGHT.

ALL MILSARD WINDOWS TO HAVE BREATHER TUBES INSTALLED.

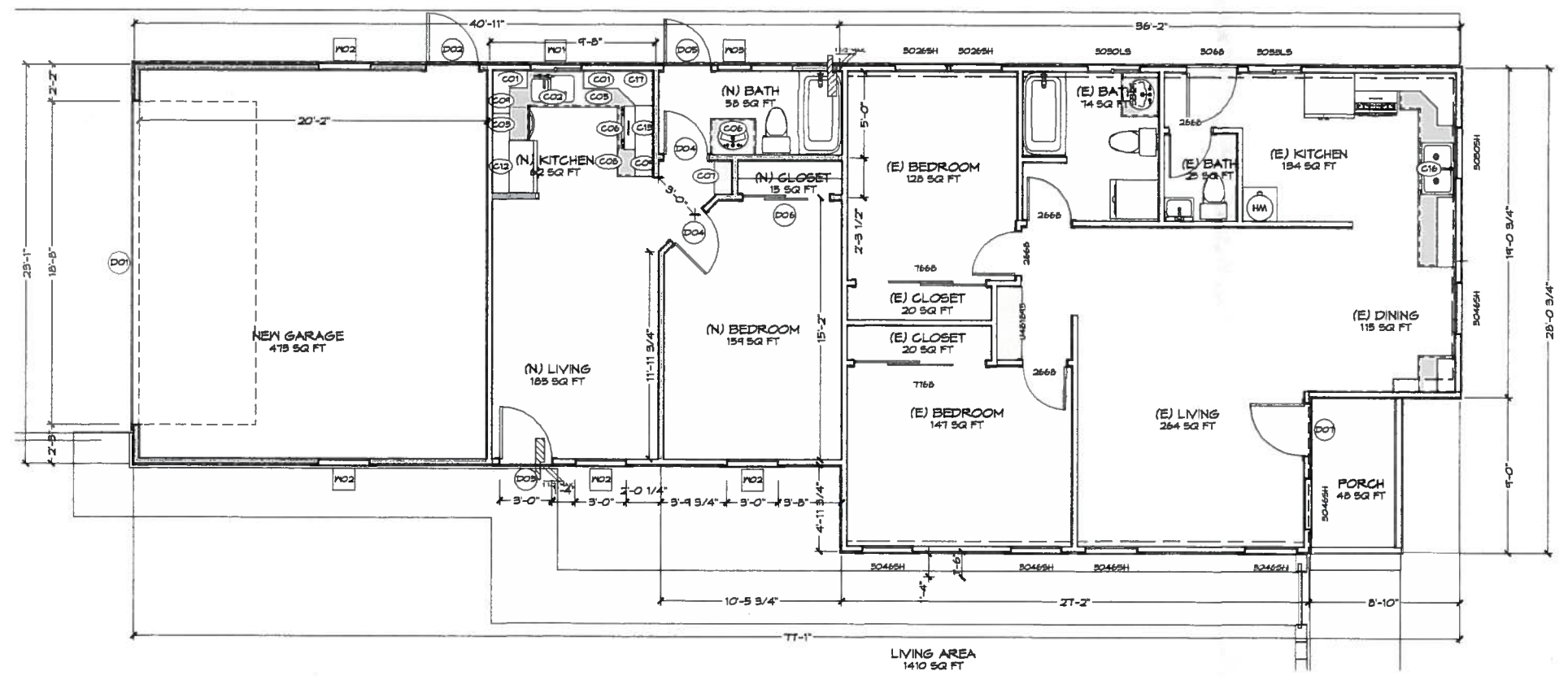
CRAWL SPACE

CRAWL SPACE TO BE A MINIMUM OF 18" MIN. DIMENSIONS.

EXTERIOR DIMENSIONS ARE OUTSIDE TO OUTSIDE OF STATED MATERIAL. INTERIOR DIMENSIONS ARE DRYWALL TO DRYWALL.

FURNACE

ALL FURNACE SWITCHES, PLOTS, AND BURNERS TO BE A MINIMUM OF 18" ABOVE FINISHED FLOOR.



PROPOSED FLOOR PLAN
 SCALE: 1/4" = 1' 0"

ABBREVIATIONS:

R.R.	ROOF RAFTER
F.J.	FLOOR JOIST
D.J.	DECK JOIST
C.J.	CEILING JOIST
BM	BEAM
K.P.	KING POST
B.P.F.	BALLOON FRAMED WALL
HDR	HEADER
P.C.	PIPE COLUMN
FL	FLUSH BEAM
DP	DROPPED BEAM
DBL	DOUBLE
BLK'S	BLOCKING
F.H.	FULL HEIGHT
D.S.	DRAG STRUT
MSB	MULTI-STUDS BEARING
S.P.N.	SILL PLATE NAILING
D.T.	DOUBLE 2 X TRIMMER
T.B.	TOP AND BOTTOM
E.S.	EACH SIDE
U.O.N.	UNLESS OTHERWISE NOTED
P.A.	POST ABOVE
M.B.	MACHINE BOLTS
(N)	NEW
(E)	EXISTING
(F.F.)	FINISH FLOOR
(F.G.)	FINISH GRADE
(A.F.F.)	ABOVE FINISH FLOOR
(T)	TEMPERED GLASS
(FIB GLS INSL)	FIBER GLASS INSULATION

EXHAUST FAN (MIN. 50 CFM) AND LIGHT HUMIDITY CONTROLLED

ALL NON-COMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES AS REQUIRED BY SENATE BILL 407.

ALL PLUMBING FIXTURES SHALL BE COMPLYING WITH THE MAXIMUM FLOW RATES AS NOTED IN THE RESIDENTIAL CONSTRUCTION MINIMUM REQUIREMENTS

KITCHEN LOCAL EXHAUST VENTILATION REQUIRES A MINIMUM RATE OF 100 CFM MEETING THE REQUIREMENTS OF ASHRAE 62.2 THIS INCLUDES A MAXIMUM SOUND RATING OF 3 SONE @ 100 CFM.

DOOR LANDING EXIT NOTE

A LANDING WITH A WIDTH NOT LESS THAN THE WIDTH OF DOOR AND LENGTH IN THE DIRECTION OF TRAVEL ON NOT LESS THAN 36 INCHES, WILL BE PROVIDED ON EACH SIDE OF DOORS. THE ELEVATION OF LANDING SHALL NOT EXCEED 1 1/2 INCH DIFFERENCE THAN THE THRESHOLD OF THE DOORWAY (1 3/4 INCH IF DOOR DOES NOT SWING OVER THE LANDING OR STEPS) IN EACH DIRECTION.

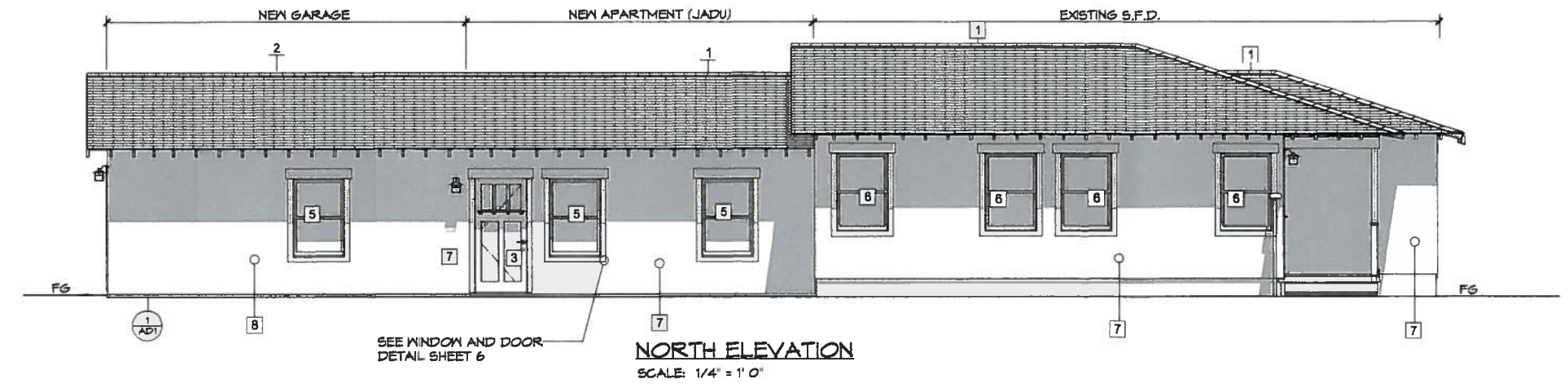
LEGEND

①	= ESSESS WINDOW
②	= (T) TEMPERED GLASS

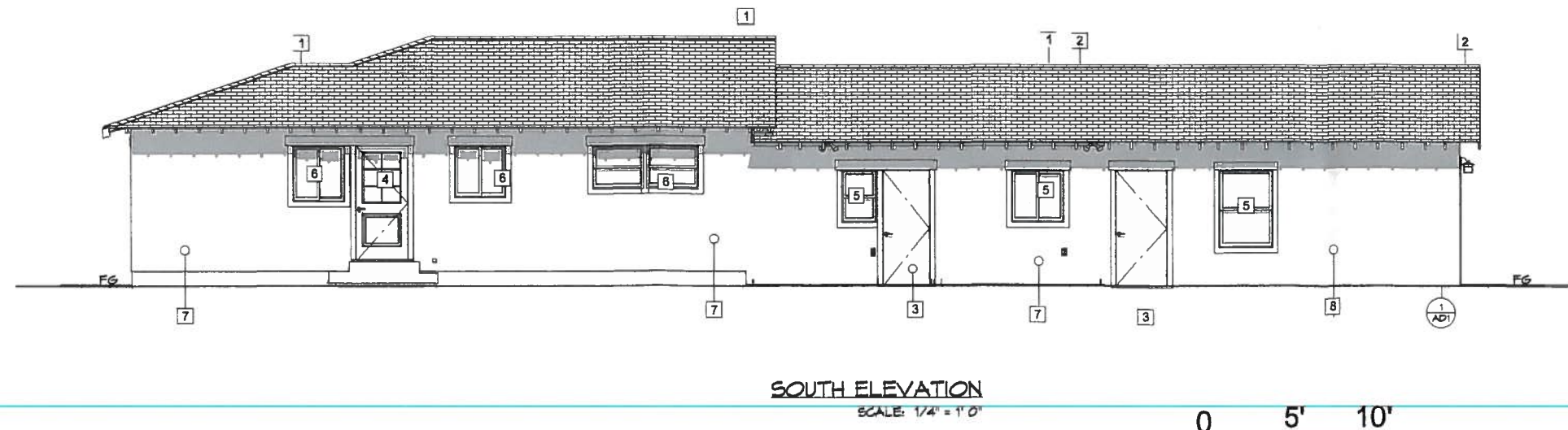
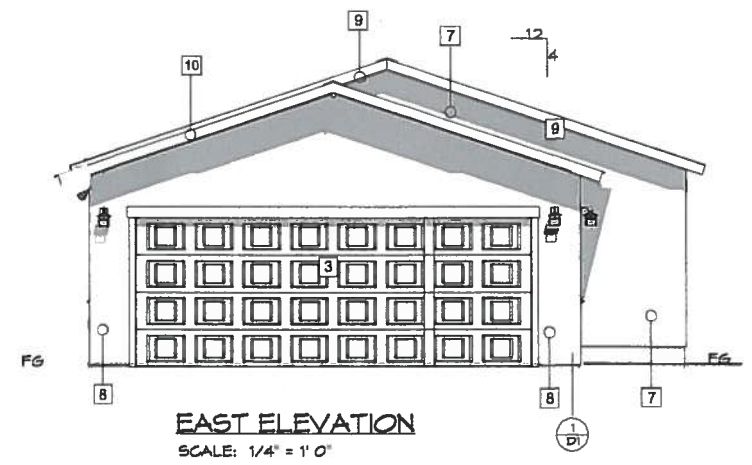


ROOF SHEATHING IV APPROVED RADIANT BARRIER AFFIXED. TO CONFORM TO ASTM STANDARDS G1913-17B AND ASTM STANDARDS G1224-14. RADIANT BARRIER APPLIED TO UNDERSIDE OF PLYWOOD BY MANUFACTURER IV SHINY SIDE FACING DOWN TOWARDS THE ATTIC FLOOR AND TO GABLE ENDS

ATTIC VENTILATION	
ATTIC AREA (NEW CONST) =	516 S.F.
REQUIRED VENTILATION PER SEC. 1205 CBC (1:150) =	3.44 S.F.
PROVIDE THE FOLLOWING:	
A. DORMER VENTS (36" X 42" X 18" HIGH) = .92 SF PER VENT X (4), IV 1/8" CORROSION RESISTANT METAL MESH COVERING OPENING. INSTALLED PER MANUF. INSTRUCTIONS AND ITS LISTING	3.68 S.F.
TOTAL PROVIDED VENTILATION:	3.68 S.F.



MATERIALS SCHEDULE	
1	= (E) CLASS A COMPOSITION SHINGLES ROOF
2	= "CLASS A" COMPOSITION SHINGLES ROOF (CERTAINTED PATROL AIR SERIES ICC-ES EVALUATION REPORT #ESR-1894) OR EQUAL TO MATCH EXISTING HOUSE AND INSTALLED PER MANUF. INSTRUCTIONS AND ITS LISTING OVER MIN. (2) LAYERS OF 15# ROOFING FELT. VERIFY MATERIAL CHOICE IV OWNER.
3	= (N) DOOR
4	= (E) DOOR
5	= (N) WOOD SASH WINDOW
6	= (E) WOOD SASH WINDOW
7	= (E) STUCCO
8	= (N) STUCCO TO MATCH AS CLOSE AS POSSIBLE IN TEXTURE AND COLOR.
9	= (E) FASCIA BOARD
10	= (N) FASCIA BOARD



DESIGNER: **Brian Scott**
 BUILDING DESIGNER
 962 N. Harwood St., Orange, CA 92667
 Ph: 888-271-P.L.A.N (7526) • 562-865-7935 • Fax: 562-318-3666
 Email: plansbybrian@aol.com Website: www.plansbybrian.com

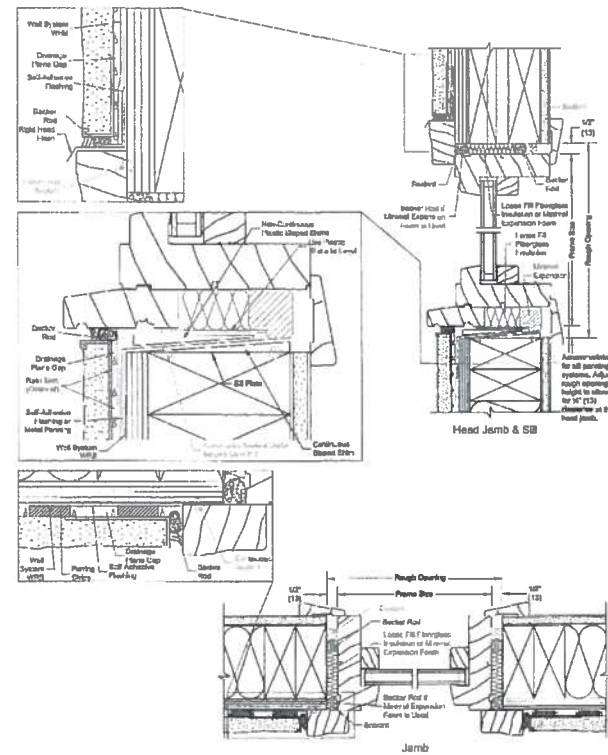
ENGINEER: _____
 PLAN: EXTERIOR ELEVATIONS

JOB ADDRESS:
 MR LARRY WOODY
 492 S ORANGE ST.
 ORANGE, CA 92666

DATE: _____
 REVISIONS: _____

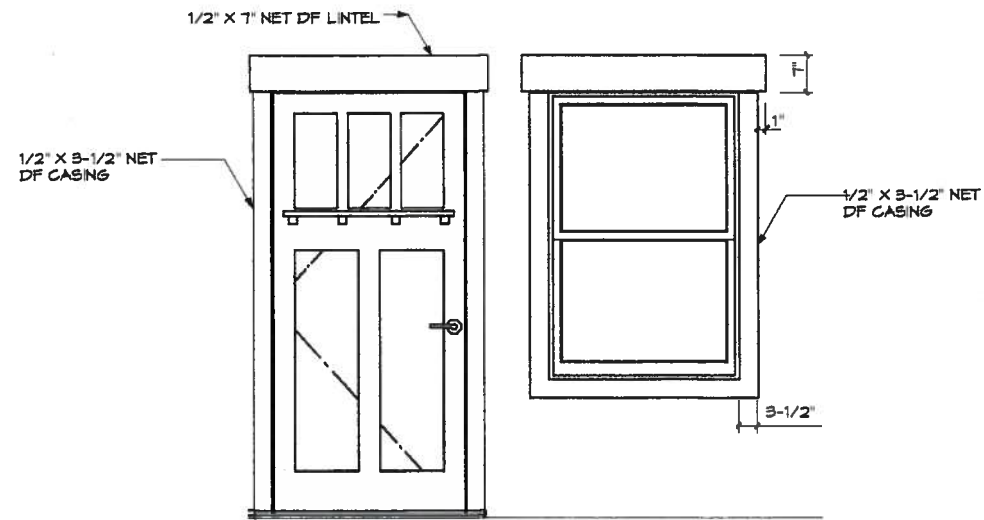
SHEET:
A5

Construction Details
Wood Polygon - 2x4 Frame with Stucco
Scale: 3" = 1'0"



Ver 2016.1 2016-02-29 CHECK MARVIN ONLINE DOCS FOR LATEST VERSION Printed On: Mar 27, 2016, 12:48 pm 19872256
CONST-5 Marvin Architectural Detail Manual

NEW WOOD WINDOWS TO MATCH EXISTING



WINDOW AND DOOR SURROUND DETAIL



ELEVATED VIEW FROM LA VITA AVE.



VIEW FROM ORANGE ST.

DESIGNER:

Brian Scott
BUILDING DESIGNER

Ph: 888-271 P.L.A.N (7526) - 562-865 7935 - Fax: 562-318 3666
562 N Harwood St., Orange, CA 92667
Email: plansbybrian@aol.com Website: www.plansbybrian.com

ENGINEER:

EXTERIOR RENDER VIEWS

PLAN:

JOB ADDRESS:

MR. LARRY WOODY
492 S ORANGE ST.
ORANGE, CA 92666

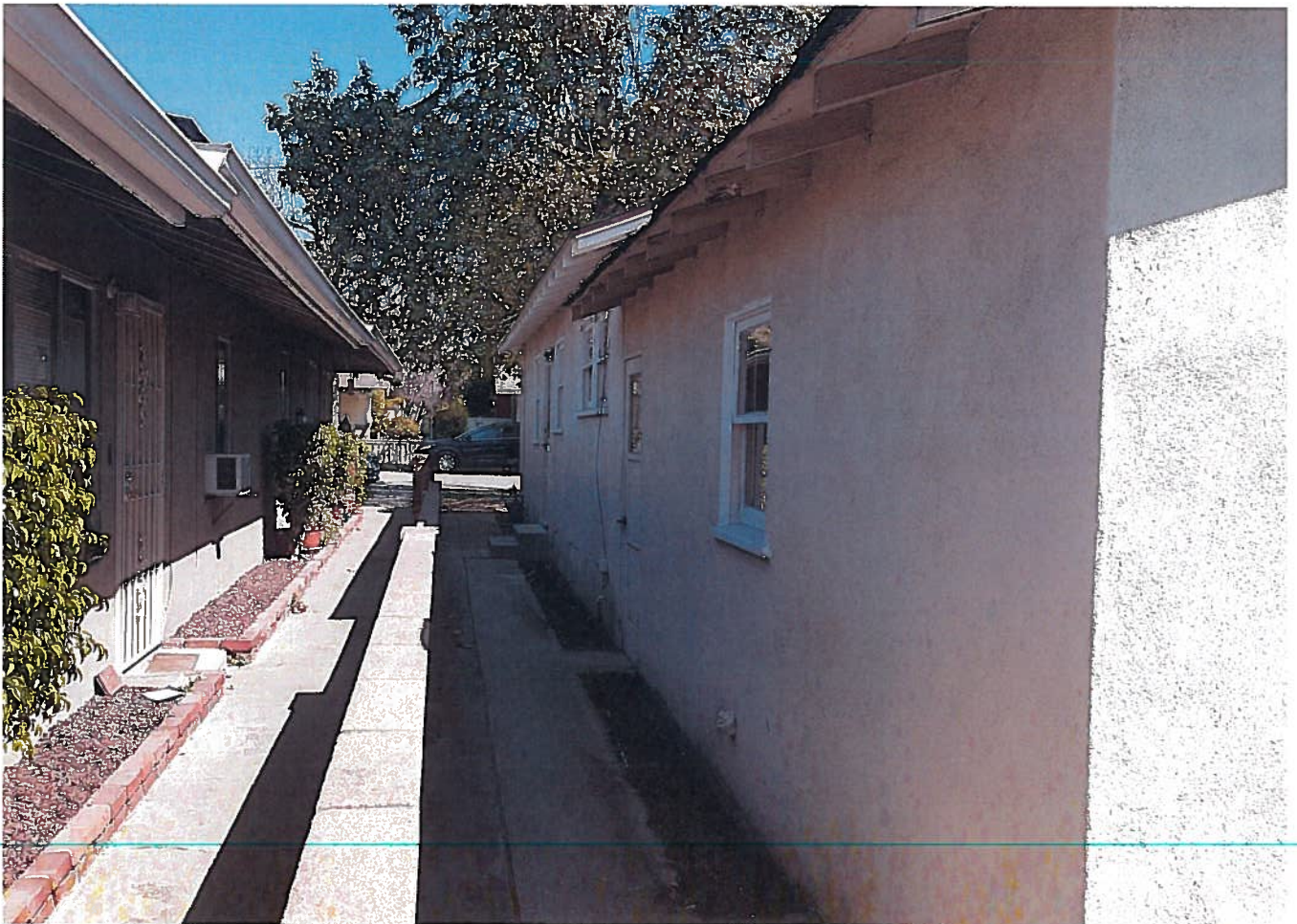
DATE:
REVISIONS:

SHEET:





ATTACHMENT NO. 3
DRC NO. 4815-15 – WOODY RESIDENCE
PROPERTY PHOTOGRAPHS
APRIL 4, 2018 DRC MTG.

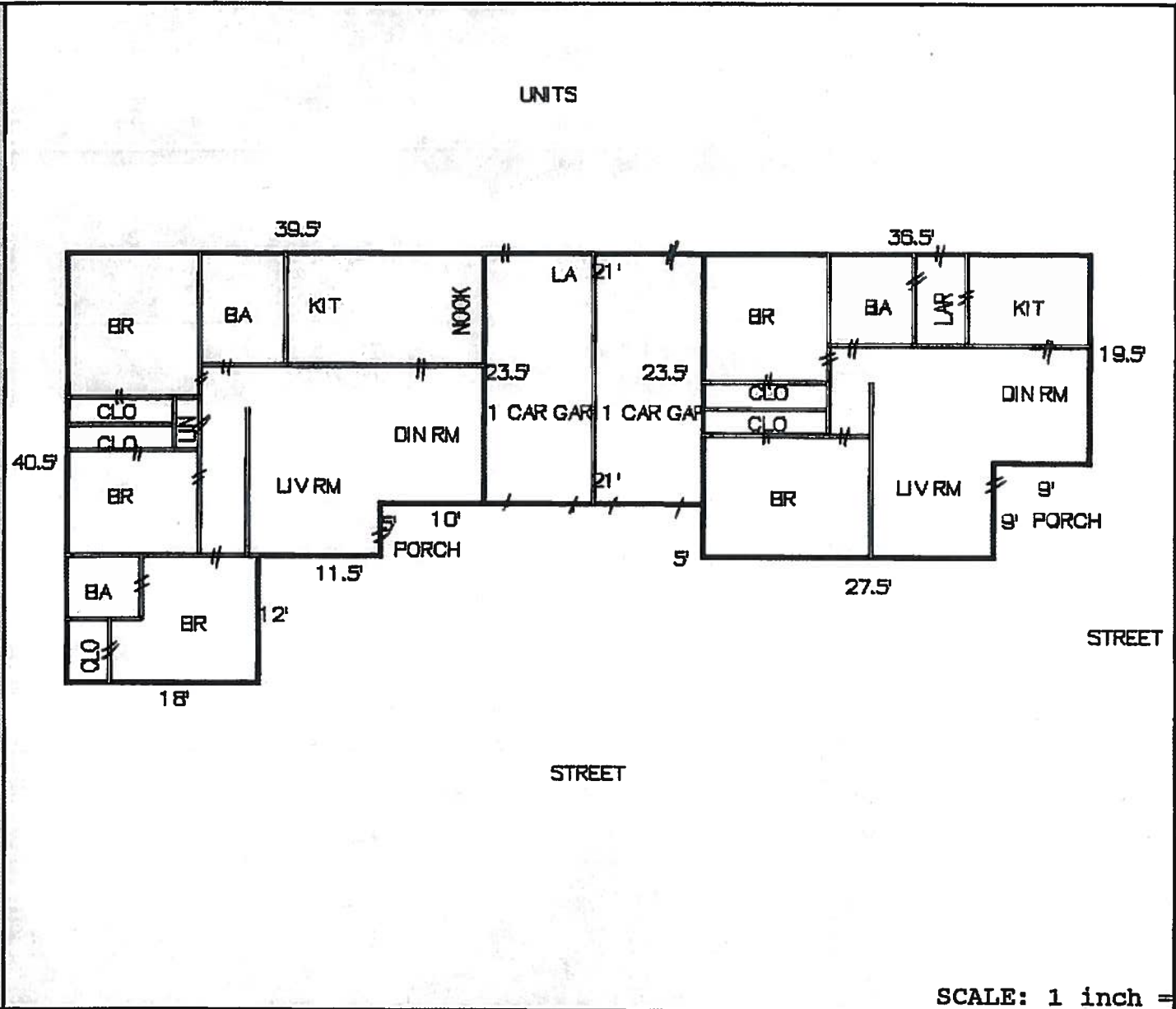




B
U
I
L
D
I
N
G

Property Address 127 E. LAVETA AVENUE			
City ORANGE	County ORANGE	State CA	Zip Code 92866
Lender PRIVATE			

I
M
P
R
O
V
E
M
E
N
T
S
S
K
E
T
C
H



C
A
L
C
U
L
A
T
E
D
A
R
E

AREA CALCULATIONS SUMMARY			
Area	Name of Area	Size	Totals
GLA1	First Floor	959.25	
	First Floor	1291.75	2251.00
GAR	Garage	493.50	493.50

LIVING AREA CALCULATIONS			
Breakdown		Subtotals	
36.50	x	19.50	711.75
27.50	x	9.00	247.50
39.50	x	23.50	928.25
29.50	x	5.00	147.50
18.00	x	12.00	216.00

ATTACHMENT NO. 4
DRC NO. 4815-15 – WOODY RESIDENCE
EXCERPT FROM 1996
CITY APPRAISAL
APRIL 4, 2018 DRC MTG.



Address:
127 E. LA VETA AVE/492 S. ORA

ORANGE, CA 92866

390-411-11

Appr Date :
SEPTEMBER 23 1996

FRONT VIEW OF
SUBJECT



REAR VIEW OF
SUBJECT



STREET VIEW OF
SUBJECT

ATTACHMENT NO. 5
DRC NO. 4815-15 – WOODY RESIDENCE
DPR FORM FOR
492 S. ORANGE STREET
APRIL 4, 2018 DRC MTG.

State of California - The Resources Agency DEPARTMENT OF PARKS AND RECREATION PRIMARY RECORD	Primary #	
	HRI #	
	Trinomial	ORA
	NRHP Status Code	6Z
Other Listings:		
Review Code:	Reviewer:	Date:

Page 1 of 3

***Resource Name or #:** ORANGE_S_492_APN_390-411-24
(Assigned by Recorder)

P1. Other Identifier: _____

***P2. Location:** Not for Publication Unrestricted

***a. County:** Orange and (P2b and P2c or P2d. Attach a location map as necessary.)

***b. USGS 7.5' Quad:** _____ **Date:** _____ T _____ ; R _____ ; 1/4 of _____ 1/4 of Sec _____ ; B.M. _____

c. Address: 492 - S ORANGE ST, # _____ **City:** Orange **Zip:** 92866

d. UTM: (Give more than one for large and/or linear resources) **Zone** _____ **mE/** _____ **mN** _____

e. Other Locational Data: _____

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries. Continues on Pg.3.)

Materials: Frame - Stucco or plaster

***P3b. Resource Attributes:**
(List attributes and codes)

***P4. Resources Present:** Building Structure Object Site Element of District District Other (Isolates, etc.)

P5b. Description of Photo: 2005
(View, date, accession #)



***P6. Date Constructed/ Age and Source:**

Historic Prehistoric Both

***P7. Owner and Address:**

***P8. Recorded by:** (Name, affiliation, and address)

D. Gest, P. LaValley, D. Matsumoto

Chattel Architecture
 13417 Ventura Blvd.
 Sherman Oaks, CA 91423

***P9. Date Recorded:**

April, 2005

***P10. Survey Type:** (Describe)

Reconnaissance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.")

Orange County Assessor Records (2005). Chattel Architecture (2005) Historic Resources Survey. AEGIS (1991) Historic Building Inventory Update.

***Attachments:** NONE Location Map Continuation Sheet(s) Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List): _____

Page 2 of 3

*Resource Name or #:
(Assigned by Recorder)

ORANGE_S_492__APN_390-411-24

B1. Historic Name: Unknown

B2. Common Name: _____

B3. Original Use: RES

B4. Present Use: RES

*B5. Architectural Style: Minimal Traditional

*B6. Construction History: (Construction date, alterations, and date of alterations) Date of Construction: _____ Historic Prehistoric Both

*B7. Moved? No Yes Unknown Date: _____ Original Location: _____

*B8. Related Features: _____

*B9. Architect or Builder: Unknown

*B10. Significance: Theme: Architecture Area: City of Orange Property Type: Residence

Period of Significance: Located in Old Towne

Applicable Criteria: N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity. Continues on Pg.4.)

Structural Integrity: _____

Site Integrity: _____

Opportunities: _____

B11. Additional Resource Attributes: (List attributes and codes) _____

*B12. References:

Orange Daily News.

B13. Remarks: (Continues on Pg.3.)

Status change since 1991 Survey: None.

(Sketch Map with North arrow required.)

*B14. Evaluator: Robert Chattel

*Date of Evaluation: September, 2005

(This space reserved for official comments.)

DPR 523B (1/95)

*Required Information

Page 3 of 3

*Resource Name or #:
(Assigned by Recorder)

ORANGE_S_492__APN_390-411-24

Recorded by:

D. Gest, P. LaValley, D. Matsumoto
Chattel Architecture
13417 Ventura Blvd.
Sherman Oaks, CA 91423

Date Recorded: April, 2005

Continuation Update

Years Surveyed:

1991, 2005

Description of Photo: 1991

Listed in National Register:

General Plan:

LDR

of Buildings:

1

Planning Zone:

R-3

of Stories:

1

Lot Acre:

of Units:

1

Principal Building Sqft:

1388

B6. Construction History (Continued from Pg.2):

B13. Remarks (Continued from Pg.2):

P3a. Description (Continued from Pg.1):

VALUE PLUS series



Short Traditional



B178

Long Traditional



B278

Flush



B378

Model Shown: B178
with Prairie 510
windows

2-Layer Construction

Patented Finger Protection Joint

Insulation
Steel

Colors



White



Almond



Sandtone



Brown

Hot-dipped galvanized steel skin with a baked-on primer and top coat helps assure maintenance-free durability and long-lasting beauty.
(Due to the printing process, colors may vary.)

Window Options

STUDIO™ series



Living Tree

BRILLIANCE® series



Trillian

LEADED series



Brass Sun Burst

See window pg. 11 for complete options.

WROUGHT IRON series



Orleans

PLAIN and SNAP-IN series



Sunset 503

Model Specs.

MODEL	PANEL STYLE	STEEL GAUGE	INSULATION THICKNESS
B178	Short Traditional	25	7/8"
B278	Long Traditional	25	7/8"
B378	Flush	25	7/8"

Warranties



Product Information

STYLE AND FINISH

- Short traditional, long traditional and flush panel designs.
- Woodgrain textured raised panel design may be painted to complement any home's exterior.
- Non-insulated Classic Plain, Classic Snap-In and Designer windows are available.

CONSTRUCTION

- 2-layer construction (Steel + Insulation).
- 25 gauge exterior skin plus insulation provide quiet operation plus added security and dent resistance.
- 7/8" insulation with 4.4 R-value.
- Safe-T-System® provides unsurpassed protection when installing and operating your garage door
- Finger protection joint.

SIZES

- Models B178 and B378 available in 6'2", 7', 7'6", 8', 9', 10', 12', 14', 15', 15'6", 15'8", 16', 17' and 18' wide.
- Model B278 available in 8', 9', 10', 12', 14', 15', 15'6", 15'8", 16', 17' and 18' wide.
- Available in 6', 6'3", 6'6", 6'9", 7', 7'6", 7'9" and 8' high doors.

ATTACHMENT NO. 6

DRC NO. 4815-15 – WOODY RESIDENCE
SAMPLE GARAGE DOOR
SPECIFICATIONS
APRIL 4, 2018 DRC MTG.